



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Orchard Pointe Fitchburg LLC
Address: 5301 Vages Road Phone Number of Contact Person: 608 257 2600
City, State, Zip Code: Madison WI 53718 Email of Contact Person: brenda@airtemperature.com
Project Address: 2920 Hardrock Road Fitchburg WI 53711 Lot: _____ Subdivision: _____
Project Type: _____ Multi-Family ☒ Commercial _____ Industrial _____ Other _____
☒ New _____ Addition

Impervious Surface Ratio (ISR): _____ (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- ☐ 1. Lot or property dimensions.
- ☐ 2. Orientation (to north).
- ☐ 3. Adjacent highways, roads, drive, etc.
- ☐ 4. Existing natural features (rivers, ponds, wetlands).
- ☐ 5. Existing buildings and/or improvements.
- ☐ 6. Existing and proposed site drainage.
- ☐ 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- ☐ 8. ISR shall be indicated on all plans.
- ☐ 9. Stormwater management plans and details.
- ☐ 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- ☐ 1. Building size, configuration and orientation.
- ☐ 2. Distance from lot lines.
- ☐ 3. Distance from other buildings, improvements and natural features.
- ☐ 4. Location of well, septic tank, drainfield, etc. (if applicable)
- ☐ 5. Additional proposed additions or new structures.
- ☐ 6. Construction type (wood frame, structural steel, etc.).
- ☐ 7. Foundation type (full basement, slab on grade, etc.).
- ☐ 8. Number of levels.
- ☐ 9. Siding/exterior covering type, color, texture, etc.
- ☐ 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- ☐ 11. Roofing material type, color, texture, etc.
- ☐ 12. Exterior door and window location, size, type, etc.
- ☐ 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- ☐ 1. Location of highway and road access points.
- ☐ 2. Location, size, configuration of drives and walks.
- ☐ 3. Number, size, location of parking spaces.
- ☐ 4. Location of handicapped parking and accessible building entrances.
- ☐ 5. Bicycle rack(s).

ARCHITECTURAL AND DESIGN REVIEW APPLICATION

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Landscaping:

☐
☐
☐
☐

1. Location, species, size of existing trees, shrubs, and plantings.
2. Location, species, size of proposed plantings.
3. Location and size of all paved, seeded/sodded and gravelled areas.
4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: _____

Applicant or Authorized Agent

Date: _____

9.22.15

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: 9/22/2015

Plan Commission Date: _____

Comments:

Pet Supply Plus
(Next to Gold's Gym at 2920 Hardrock Road)

Architectural Design Review
Project Description
September 22, 2015

General Project Description

A new 8,950 square foot Pet Supply Plus will be constructed on the west end of the planned multitenant commercial building. Gold's Gym is located on the east end. A future build-out will connect the two buildings. The building will be one-story, slab-on-grade, and of noncombustible construction.

Site Design

The parking and site access were installed as part of the first phase of the project when Gold's Gym was constructed. Service access to the rear of the building will be from the existing service drive. A loading dock and truck delivery area will be provided at the rear of the building. No changes to the parking lot layout or landscaping will be required.

Building Design

The building materials will blend with the existing Gold's Gym materials. The building will have a masonry exterior with details and colors to blend in with Gold's Gym.

The front entrance will have a green accent canopy. An EFIS signage band and capital band is located at the top of the building.

The building is built into the side of the grade of Rimrock Road which runs along the west side of the site.

Project Schedule

Upon approval of the architectural design, the project will proceed with construction this year for occupancy spring 2016.

Project Team

Owner:	Tim Neitzel MMI Inc. 5301 Voges Road Madison, Wisconsin 53718
Architect:	Dimension IV Madison Design Group 6515 Grand Teton Plaza, Suite 120 Madison, Wisconsin 53719 Jerry Bourquin, AIA 829-4444
Civil Engineer/Site Design:	Professional Engineering LLC 818 N. Meadowbrook Lane Waunakee, Wisconsin 53597 Roxanne Johnson, PE

Additions to Orchard Pointe - Pet Supplies Plus

McKee Rd., Fitchburg, WI



List of Drawings

Professional Engineering:

- C100 - Existing Site Plan
- C200 - Site Plan
- C300 - Grading Plan
- C301 - Erosion Control Plan
- C400 - Utility Plan

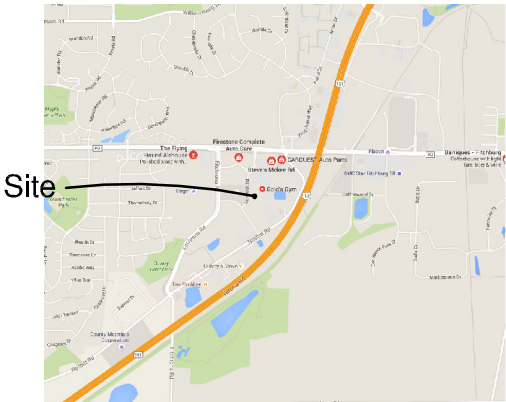
Dimension IV Madison:
Floor Plan
Elevations

Architecture :

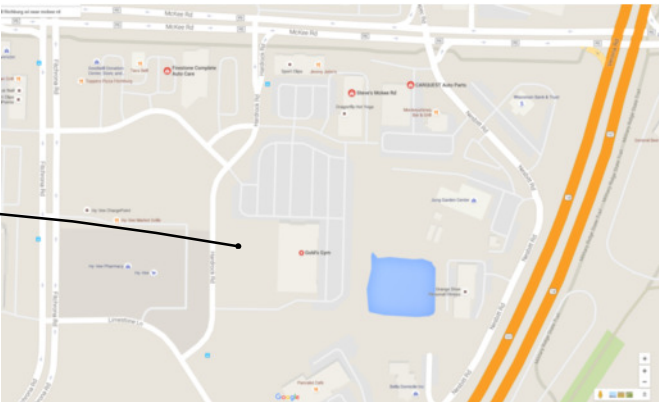
Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
608.829.4444www.dimensionivmadison.com

Civil Engineering:

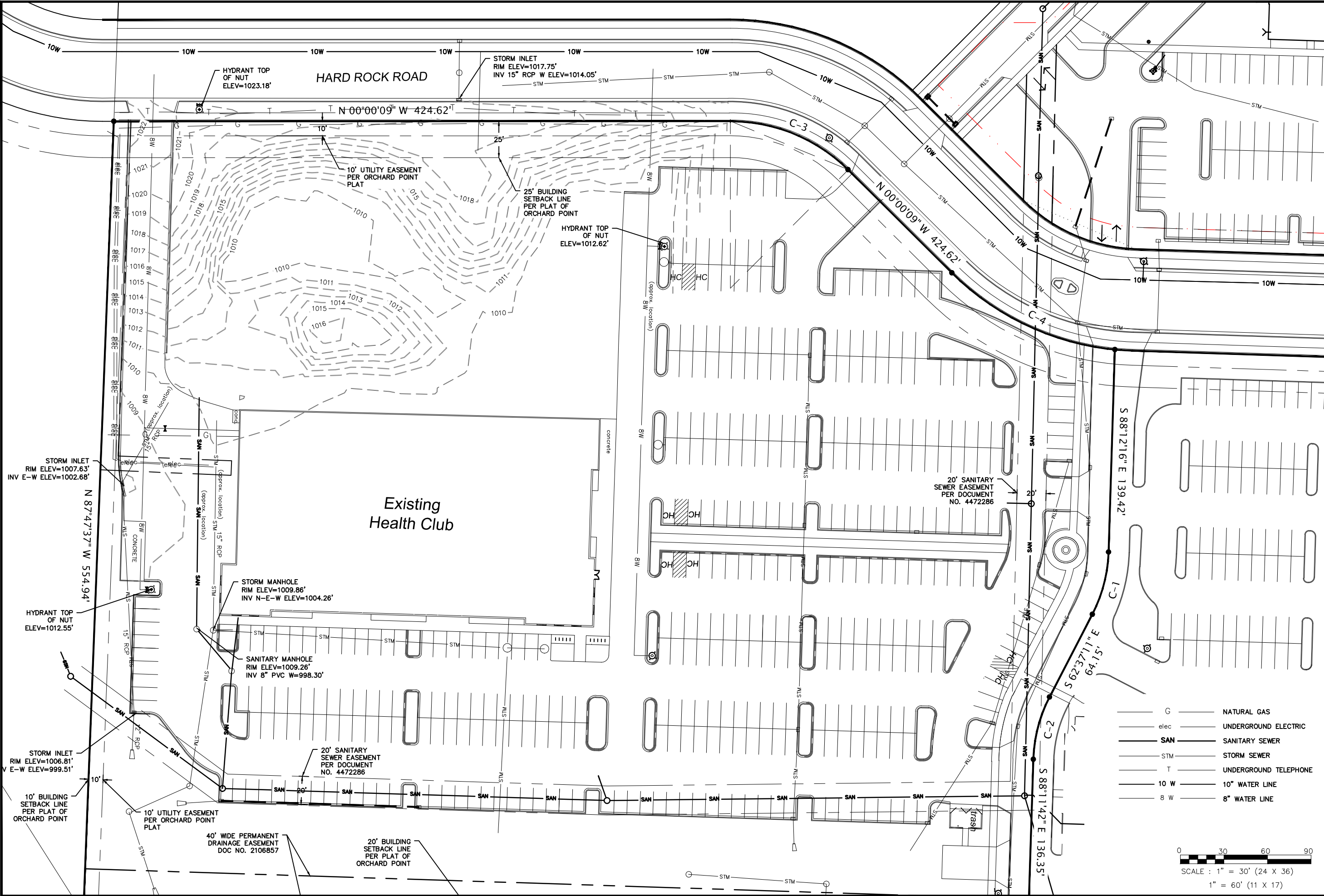
Professional Engineering
818 Meadowbrook Ln, Waunakee, WI 53597
608-849-9378



Vicinity Map




Location Map



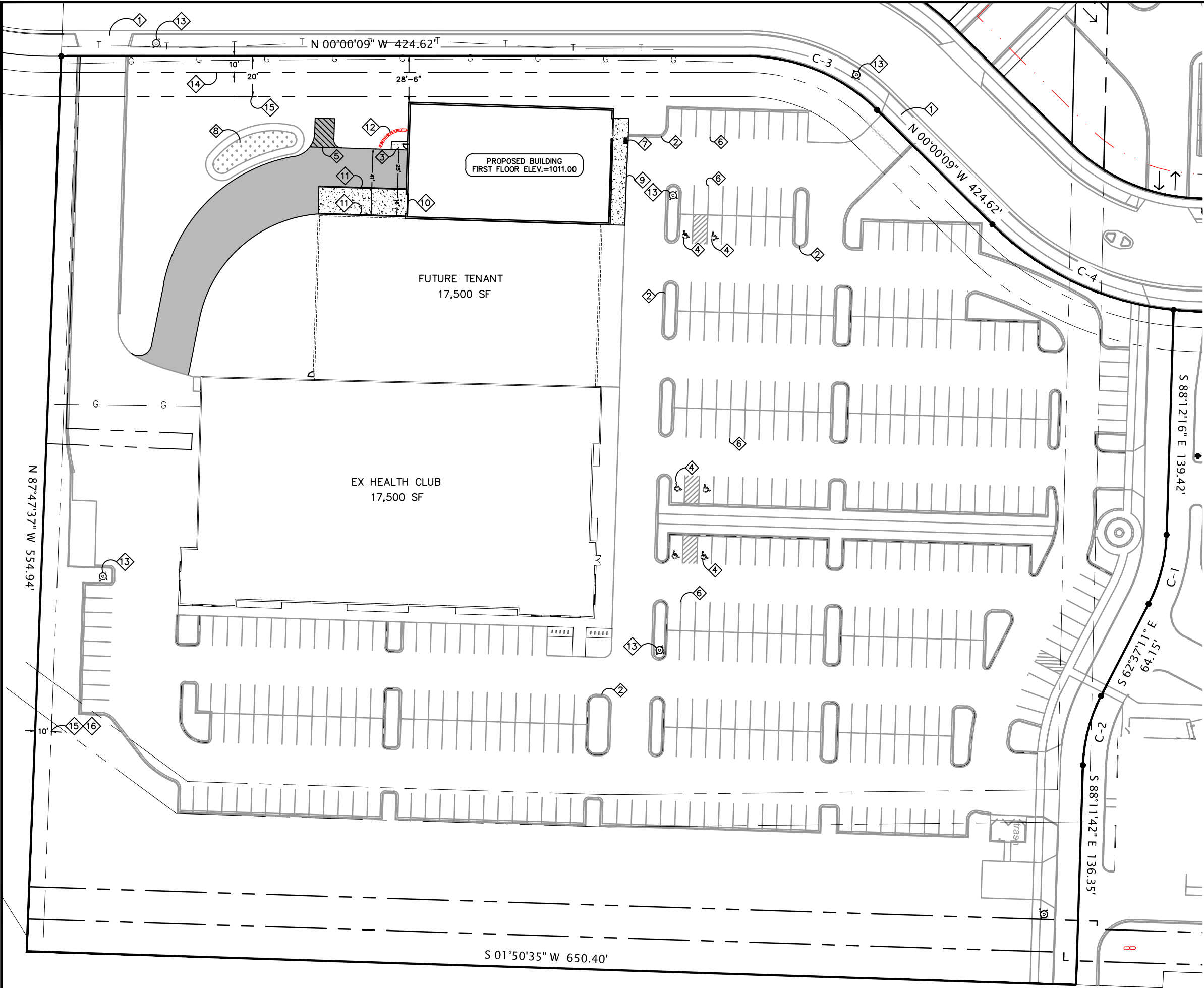
X:\files\1226 Pet Supplies\DWG\Survey\1226 Pet Existing.dwg | 9/22/2015 11:34:38 AM

ISSUANCE/REVISION		DATE
SITE PLAN	APPROVAL	09-22-15
818 N Meadowbrook Ln Waukegan, WI 53397 phone (608) 849-9378 fax (608) 237-2129		

**PROFESSIONAL
ENGINEERING**
LLC

**PET SUPPLIES PLUS
EXISTING CONDITIONS**
FITCHBURG, WISCONSIN

C100



PLAN KEY

- 1 EX DRIVEWAY APPROACH
- 2 EX CURB AND GUTTER
- 3 CONCRETE SIDEWALK
- 4 EX VAN ACCESSIBLE STALL, TYP.
- 5 PAVEMENT STRIPING, TYP.
- 6 EX PAVEMENT STRIPING, TYP.
- 7 CURB RAMP W/ DETECTABLE WARNING FIELD
- 8 BIORETENTION AREA
- 9 THICKENED EDGE CONCRETE SIDEWALK
- 10 LOADING DOCK
- 11 CONCRETE RETAINING WALL
- 12 LIMESTONE RETAINING WALL
- 13 EX HYDRANT
- 14 EX 10' WIDE UTILITY EASEMENT
- 15 EX 20' WIDE BUILDING SETBACK
- 16 EX 10' WIDE BUILDING SETBACK

PAVEMENT KEY

- ASPHALT PAVEMENT
- CONCRETE
- RETAINING WALL



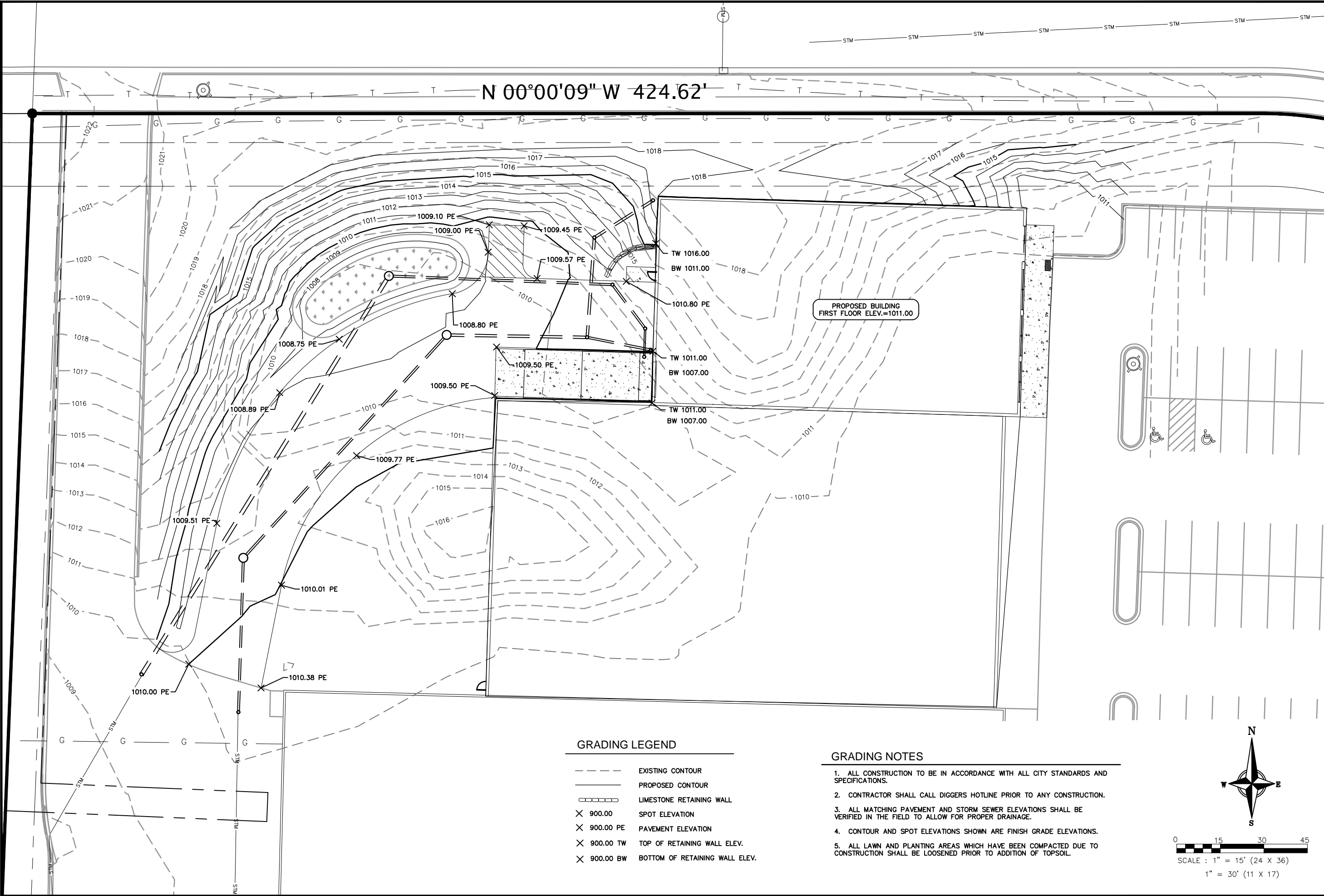
0 30 60 90
SCALE : 1" = 30' (22 X 34)
1" = 60' (11 X 17)

PET SUPPLIES PLUS
SITE PLAN
FITCHBURG, WISCONSIN

C200

818 N Meadowbrook Ln
Waukegan, WI 53397
phone (608) 849-9378
fax (608) 237-2129
**PROFESSIONAL
ENGINEERING** LLC

ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	09-22-15



N 00°00'09" W 424.62'

PROPOSED BUILDING
FIRST FLOOR ELEV.=1011.00

GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMESTONE RETAINING WALL
- X 900.00 SPOT ELEVATION
- X 900.00 PE PAVEMENT ELEVATION
- X 900.00 TW TOP OF RETAINING WALL ELEV.
- X 900.00 BW BOTTOM OF RETAINING WALL ELEV.

GRADING NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
3. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
4. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
5. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.



0 15 30 45
SCALE : 1" = 15' (24 X 36)
1" = 30' (11 X 17)

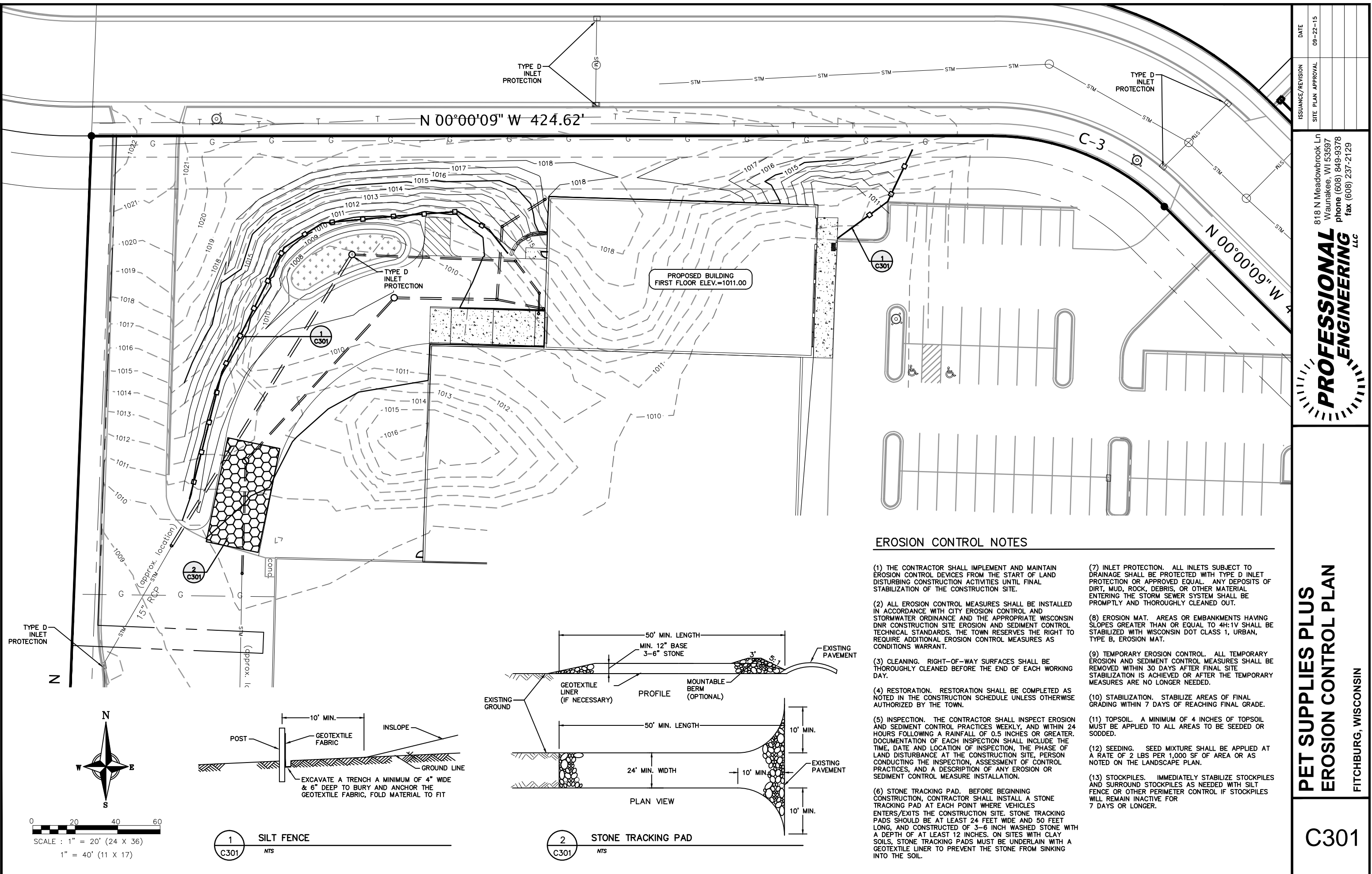
PET SUPPLIES PLUS
GRADING PLAN
FITCHBURG, WISCONSIN

C300

ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	09-22-15

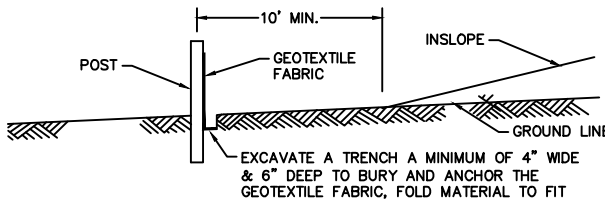
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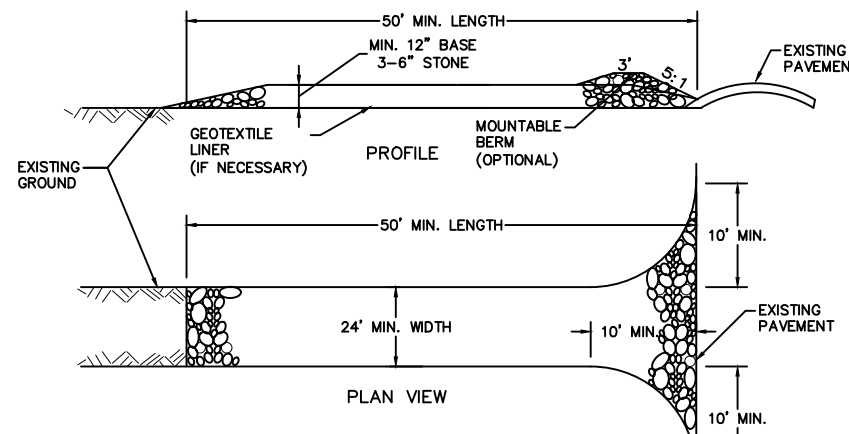


EROSION CONTROL NOTES

- (1) THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- (2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE TOWN RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- (3) CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
- (4) RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE TOWN.
- (5) INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- (6) STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-6 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, STONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
- (7) INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH TYPE D INLET PROTECTION OR APPROVED EQUAL. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
- (8) EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, URBAN, TYPE B, EROSION MAT.
- (9) TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- (10) STABILIZATION. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
- (11) TOPSOIL. A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDDED OR SODDED.
- (12) SEEDING. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 LBS PER 1,000 SF OF AREA OR AS NOTED ON THE LANDSCAPE PLAN.
- (13) STOCKPILES. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.



1 SILT FENCE
C301 NTS



2 STONE TRACKING PAD
C301 NTS

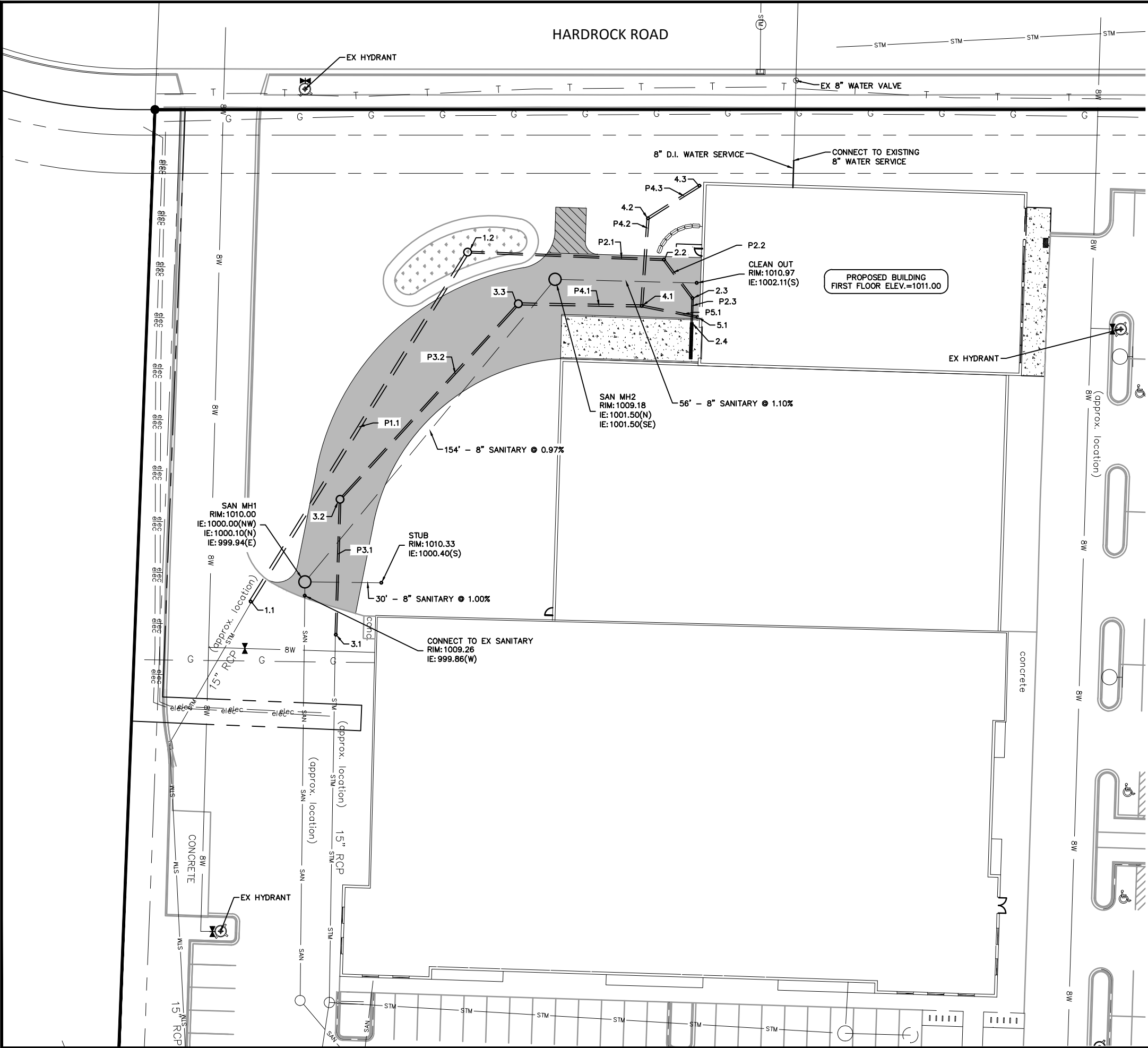
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PROFESSIONAL ENGINEERING LLC

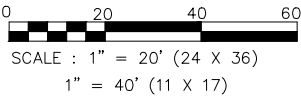
PET SUPPLIES PLUS
EROSION CONTROL PLAN
FITCHBURG, WISCONSIN

C301



UTILITY NOTES

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE LOCATED FROM PREVIOUS DESIGN PLANS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.
4. CONTRACTOR SHALL OBTAIN ALL NECESSARY CONNECTION PERMITS FROM THE CITY PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
5. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
6. ALL STORM SEWER PIPE TO BE ADS N-12, RCP CLASS III REINFORCED CONCRETE WITH RUBBER GASKETS OR SCHEDULE 40 PVC AS NOTE
7. WATER SERVICES SHALL CONFORM CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.
8. WATER MAIN SHALL BE DUCTILE IRON, CLASS 52.
9. SANITARY SEWER SERVICES SHALL BE SDR-26 PVC.
10. UTILITIES STUBS (SANITARY, WATER, STORM SEWER) TO BE PLUGGED AND MARKED WITH A 4"x4" HARDWOOD POST.
11. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
12. SCOTCHMARK BALL MARKERS (PRODUCT NO. 1404-XR) SHALL BE INSTALLED DIRECTLY ABOVE SANITARY LATERALS AT WYE, TWO FEET FROM PROPERTY LINE (WITHIN RIGHT-OF-WAY), AT ANY BENDS, AND AT THE END OF LATERAL STUBS. BALL MARKERS SHALL BE GREEN IN COLOR AND INSTALLED BETWEEN 3.5' AND 4.5' FROM FINAL SURFACE ELEVATION. BALL MARKERS SHALL BE CHECKED FOR CONDUCTIVITY PRIOR TO INSTALLATION OF STREETS AND SIDEWALKS
13. CONNECTION TO EXISTING SANITARY MANHOLE SHALL BE CORED, RUBBER BOOTED, AND HAVE A WATER TIGHT SEAL PLACED AND SHALL HAVE A CORED FLOW LINE AS DIRECTED BY CITY.
14. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY CITY.
15. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
16. MUNICIPAL WATER MAIN VALVES MAY ONLY BE OPERATED BY THE FITCHBURG UTILITY. SAFE SAMPLE RESULTS NEED TO BE PROVIDED TO THE FITCHBURG UTILITY PRIOR TO PRESSURE TESTING THE PRIVATE WATER MAINS.



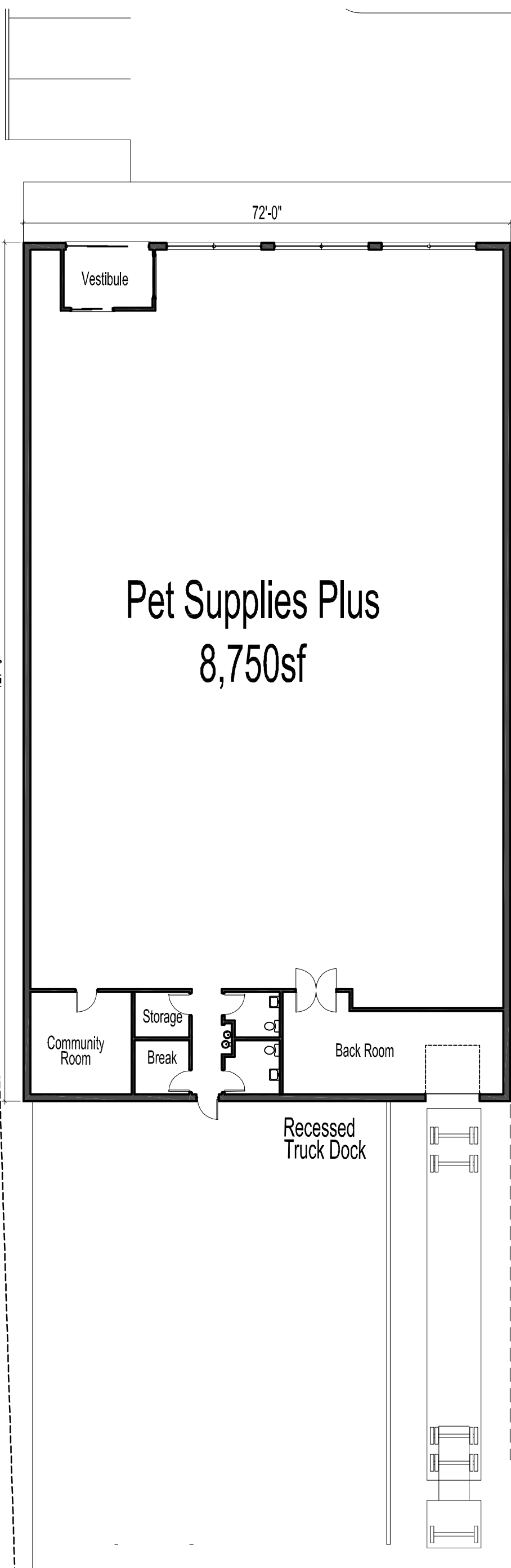
PET SUPPLIES PLUS
UTILITY PLAN
FITCHBURG, WISCONSIN

C400



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SITE PLAN APPROVAL	09-22-15



Future Tenant

